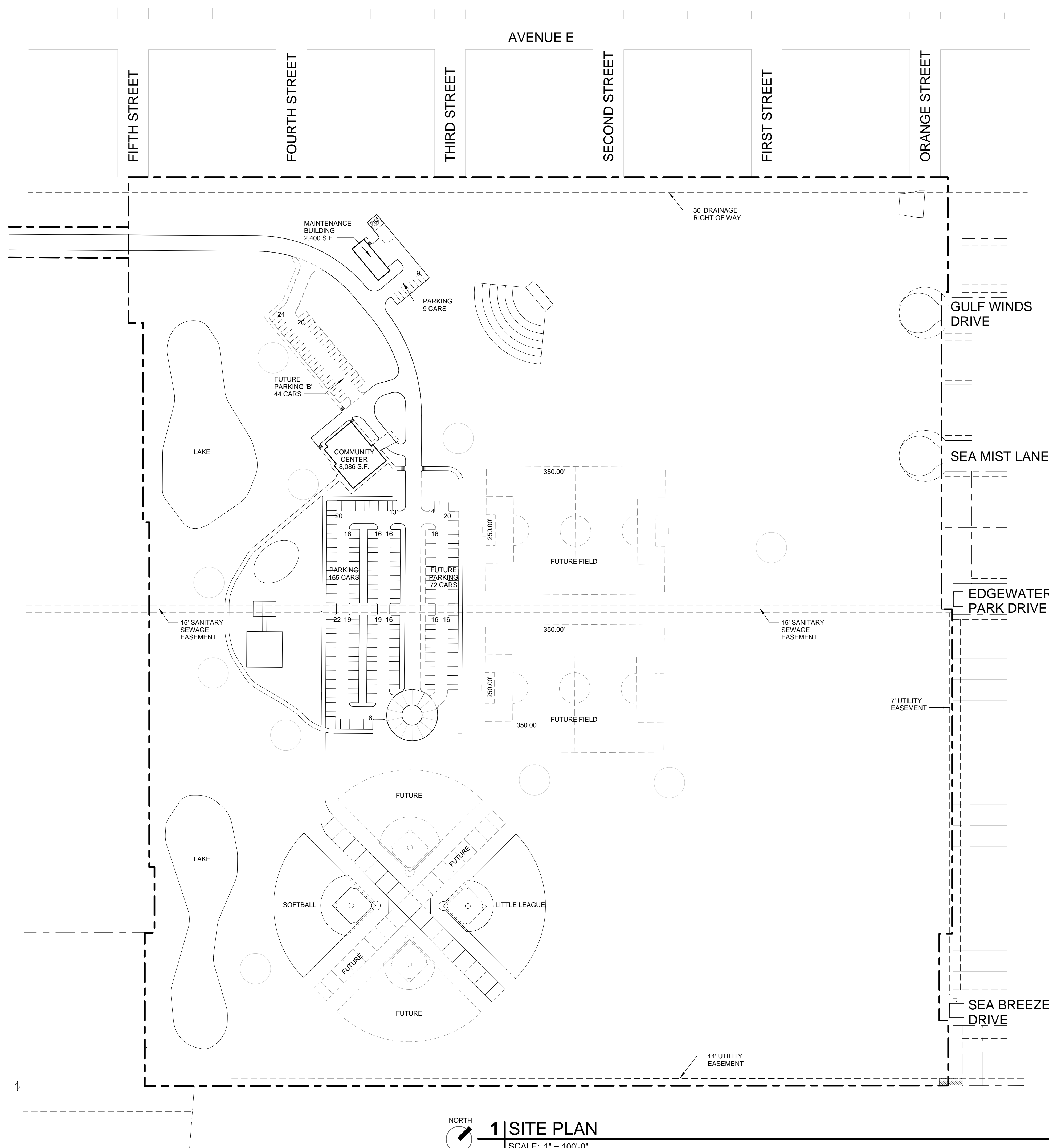


ISSUE #	DATE	DESCRIPTION



**GENERAL SITE PLAN NOTES**

- COMPLY WITH TEXAS DEPARTMENT OF HEALTH AND PUBLIC SAFETY SPECIFICATIONS, CITY OF FRISCO, OR TEXAS HIGHWAY DEPARTMENT STANDARDS FOR CONSTRUCTION OF ALL DRIVEWAYS IN STREET RIGHT-OF-WAY.
- SPECIAL CARE SHALL BE TAKEN WITH NEW CONSTRUCTION ALONG ADJACENT PROPERTY LINES. ADJACENT PROPERTY IS ALTERED ONLY AS SPECIFICALLY REQUIRED IN THESE DRAWINGS AND SPECIFICATIONS, AND RESTORED TO ORIGINAL CONDITION BY CONTRACTOR IF ANY DAMAGE OCCURS.
- REFER TO CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL UTILITY SERVICES TO AND ON THE SITE.
- REPAIR ALL LANDSCAPING AND GRASS AREAS DAMAGED BY CONSTRUCTION. BACK FILL WITH TOP SOIL AND GRASS PER LANDSCAPE SPECIFICATIONS.
- ACCESSIBLE PARKING SPACES AS SHOWN ON THE SITE PLAN ARE EXISTING AND ARE DESIGNATED BY ABOVE GRADE SIGN AT EACH SPACE PER STATE AND LOCAL APPLICABLE CODES AND STANDARDS. MANEUVERING SPACE BETWEEN EACH TO HAVE 4' WIDE PAINTED WHITE STRIPES AT 12" O.C. PROVIDE CONCRETE RAMP AT WALKS AS DESIGNATED ON PLANS.
- SLOPE ACCESSIBLE RAMPS AT 1:12 MAXIMUM. REFER TO PLANS. SCORE RAMP SURFACE AT 3" O.C. PROVIDE NONSKID FINISH ACCESSIBLE AND DELIVERY RAMPS.
- DO NOT RESTRICT ACCESS TO ADJACENT BUILDINGS, SITES, OR ROADWAYS.
- SET IRRIGATION SLEEVES 24" BELOW GRADE AT PAVED DRIVE OR SIDEWALK AREAS. PROVIDE IRON PINS AT EACH END TO MARK LOCATIONS.
- SIDEWALKS ARE MIN. 4 1/2" THICK WITH 6" x 6" W/2.9W/2.9 WELDED WIRE FABRIC TYPICAL.
- PROVIDE BONDING AGENT EQUAL TO EVAPOX BONDER #1 OR #2 AND BONDER #11 BY EPOXY INDUSTRIES INC. TO BOND CURBS TO PAVING PER MANUFACTURER'S INSTRUCTIONS.
- CONFORM TO THE REQUIREMENTS IN THE CIVIL DRAWINGS RELATED TO THE "POLLUTION PROTECTION PLAN" AND THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
- OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO PERFORM DEMOLITION WORK WITHIN THE PROPERTY LINE AND IN THE STREET RIGHT-OF-WAY.
- COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND PLUGGING OF PUBLIC UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, AND UTILITIES TO BE ABANDONED.
- DEMOLITION OF STREET CURBS AS SHOWN ON THIS PLAN AND ON CIVIL DRAWINGS ARE TO BE THE MINIMUM REQUIREMENT FOR NEW CONSTRUCTION. REPLACE OR REPAIR OTHER CURBS REQUIRING DEMOLITION TO FACILITATE NEW CONSTRUCTION.
- ARRANGE AND PAY FOR RELOCATION OF POWER POLES AND UTILITIES REQUIRING DEMOLITION IN ORDER TO PERFORM NEW CONSTRUCTION.
- PROVIDE AND MAINTAIN ALL SIGNS AND BARRICADES AND TRAFFIC CONTROL AS REQUIRED BY SAFETY TO ALL PEDESTRIANS, VEHICLES, SURROUNDING BUILDINGS AND UTILITIES THROUGH ALL PHASES OF THE CONSTRUCTION.
- DAMAGE TO EXISTING SITE OR SURROUNDING IMPROVEMENTS, PUBLIC OR PRIVATE, BY CONTRACTOR ARE TO BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- PUMP OPEN TRENCHES AT PERIMETER OR EXISTING PAVING OR AROUND NEW CONSTRUCTION FREE OF STANDING WATER AT ALL TIMES.
- WHERE EXISTING CONCRETE CURB IS TO BE REMOVED SAW CUT EXISTING CURB 1-12 INCHES DEEP MIN. AND REMOVE TWO FEET OF EXISTING PAVING FOR NEW CONNECTION.
- UNLESS OTHERWISE NOTED PERIMETER LANDSCAPING ABUTTING CURBS ARE FINE GRADED TO TOP OF CURB. PROVIDE FERTILE, FRIABLE, SANDY LOAM FILL TO TOP OF CONCRETE CURB AT ALL AREAS.
- ALL PARKING STRIPES ARE TO BE PAINTED WHITE.
- PLACE SIDE WALK CONTROL JOINTS AND EXPANSION JOINTS PER DETAIL. CONTRACTOR TO SUBMIT PROPOSED JOINT LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO LAYOUT IN THE FIELD.

**PIPE SLEEVE NOTES**

- REFER TO PLUMBING OR ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION AND RELATED DETAILS FOR ALL GAS, POWER, TELEPHONE AND CABLE SLEEVES.
- PIPES INDICATED AS "ELEC. PVC" ARE FOR FUTURE USE AND ARE 24" BELOW GRADE AND CAPPED. PROVIDE IRON PINS AT EACH END TO MARK LOCATIONS. INSTALL PULL WIRES INSIDE ELEC. PVC SLEEVES.

**bdg**  
architecture  
+ planning  
boucher design group

Boucher Design Group LLC  
Members A.I.A.  
6802 Maple Ridge, Suite 200  
Bellaire, Texas 77401  
Tel. 713.785.3644  
www.bdgap.com

This document is an instrument of service protected by the copyright law of the United States of America, 17 U.S.C §102, and shall not be copied or reproduced without the express written consent of Boucher Design Group, LLC. 2015

**PRELIMINARY**  
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-16

<b>GALVESTON COMMUNITY CENTER</b>	
BACLIFF, TEXAS	
<b>GALVESTON COUNTY</b>	
DATE	12/08/2015
PROJECT NO.	1409000
DRAWN BY	BW
CHECKED BY	BA

**SITE PLAN**

**A.100**  
© COPYRIGHT 2015 BOUCHER DESIGN GROUP, LLC

NORTH  
**1 | SITE PLAN**  
SCALE: 1" = 100'-0"